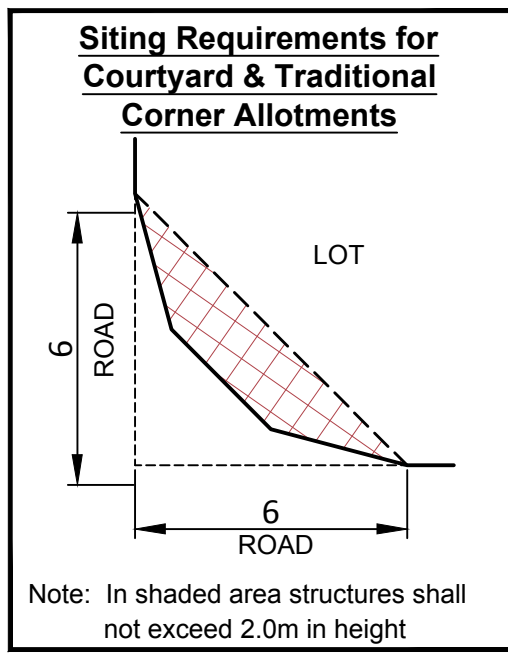


- Plan of Development Notes:**
General
- All development is to be undertaken in accordance with the Development Approval.
 - The maximum building height shall be:
 - 8.5 metres for a dwelling house;
 - 11 metres for Multiple Residential (Dual Occupancy).
 - The criteria set out on this approved Plan of Development are "alternative requirements for accepted development" for a Dwelling House and Dual Occupancy. Compliance with these alternative requirements for accepted development will be deemed to represent compliance with the comparable provisions of the Dwelling house code and Dual occupancy code respectively.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise specified below.
 - Maximum building location envelopes are subject to existing and future proposed easements and/or underground services.
 - Boundary setbacks are measured to the building wall.
 - Eaves (except on a wall that is built to the boundary) must not encroach within 600mm of the side or rear boundaries. Gutters may not extend beyond the boundaries of the lot.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Site Cover - Maximum site cover as per Lot size below:
 - The site cover for lots less than 200m² must be in accordance with the approved setbacks and private open space provisions.
 - 200m² - 400m² - 70%
 - 401m² - 600m² - 60%
 - Greater than 600m² - 50%
 - For the purposes of determining setbacks, a corner lot is a lot that adjoins the intersection of two streets. This does not apply to lots that adjoin a laneway, shared access driveway, bio-retention zone or pedestrian linkage.
 - On courtyard corner lots, a corner truncation setback applies (refer siting requirement diagram). This setback also applies where a dual occupancy is built on one of these lots. On all other lots the setback to a corner truncation (including where a lot adjoins a laneway) is the same as the secondary street setback (or side setback where adjoining a laneway).
 - Entrance portico may be located closer to the property boundary than stated in the allotment setbacks table, provided that the portico is located not less than two (2) metres from the front property boundary, the height of the portico does not exceed 4.5 metres, the portico remains open and not enclosed and the width of the portico is limited to the front entry area only.
 - Balconies, verandas or equivalent may extend up to one (1) metre into the front setback area and the side street setback area for corner lots, provided they remain open and not enclosed.
 - Garages must not project forward of the front building wall.



Legend

- Site Boundary
- Release Boundary
- Road Access
- Road
- Laneway
- Footpath
- Indented Parking Bays
- Single Driveway with Possible Double
- Double Driveway
- Bio-retention zone

Allotment Details

- No Vehicle Access
- Primary Frontage
- Preferred Bin Collection
- Indicative Letterbox Location along Primary Frontage
- Indicative Private Open Space Location
- Indicative Alternative Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Optional Built to Boundary Wall
- Preferred Garage Location (on Single Family Dwellings)
- Preferred Garage Location (Double permitted on 2 Storey Dwelling)
- Alternative Garage Location (Permitted on Corner Dwellings adjoining a Laneway and only available when the laneway has been constructed)

Privacy and Overlooking

- Buildings must be sited and designed to provide adequate visual privacy for neighbours:
 - Where the distance separating a window or balcony of an adjoining dwelling from the side or rear boundary is less than 1.5m:
 - a permanent window and a balcony has a window/balcony screen extending across the line of sight from the sill to at least 1.5m above the adjacent floor level; or
 - a window has a sill height more than 1.5m above the adjacent floor level; or
 - a window has obscure glazing below 1.5m; where a window, balcony and a window/balcony screen has the same meaning as it does in the Queensland Development Code.

Dual Occupancy Allotments

- All dual occupancy dwellings within the same allotment must share a common wall.
- All dual occupancy dwellings must incorporate the following:
 - Pedestrian entry and door visible and accessible from the primary street frontage.
 - Minimum 1 living space overlooking the primary street frontage.
 - Front fencing to be articulated to allow for dense landscaping and 50% transparent where exceeding 1.2m high.
- All Dual Occupancy dwellings to be double storey.
- At least 10% of the dual occupancy allotment area is to be retained for soft landscaping.
- A landscape area to be provided on the primary frontage

Requests for minor variations

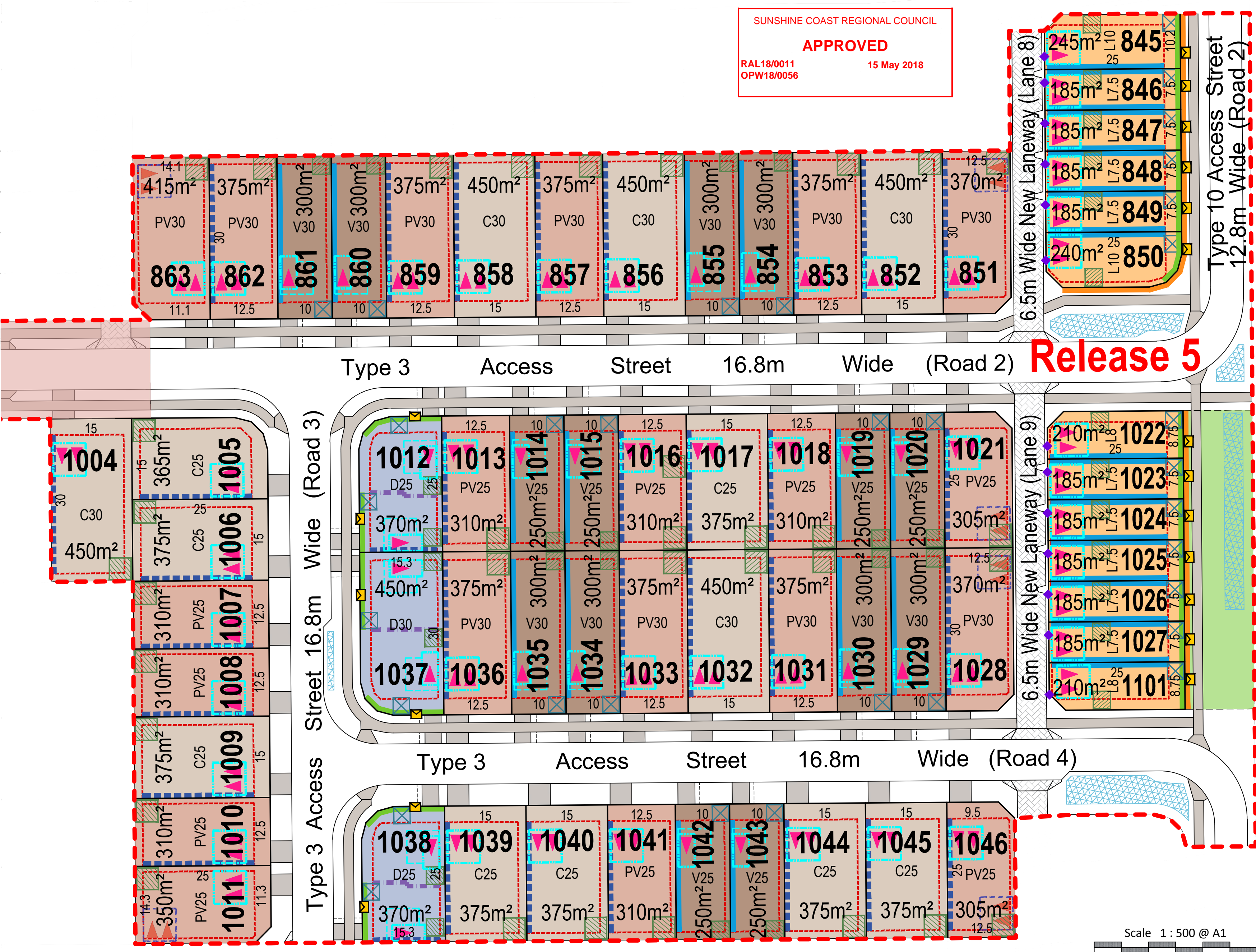
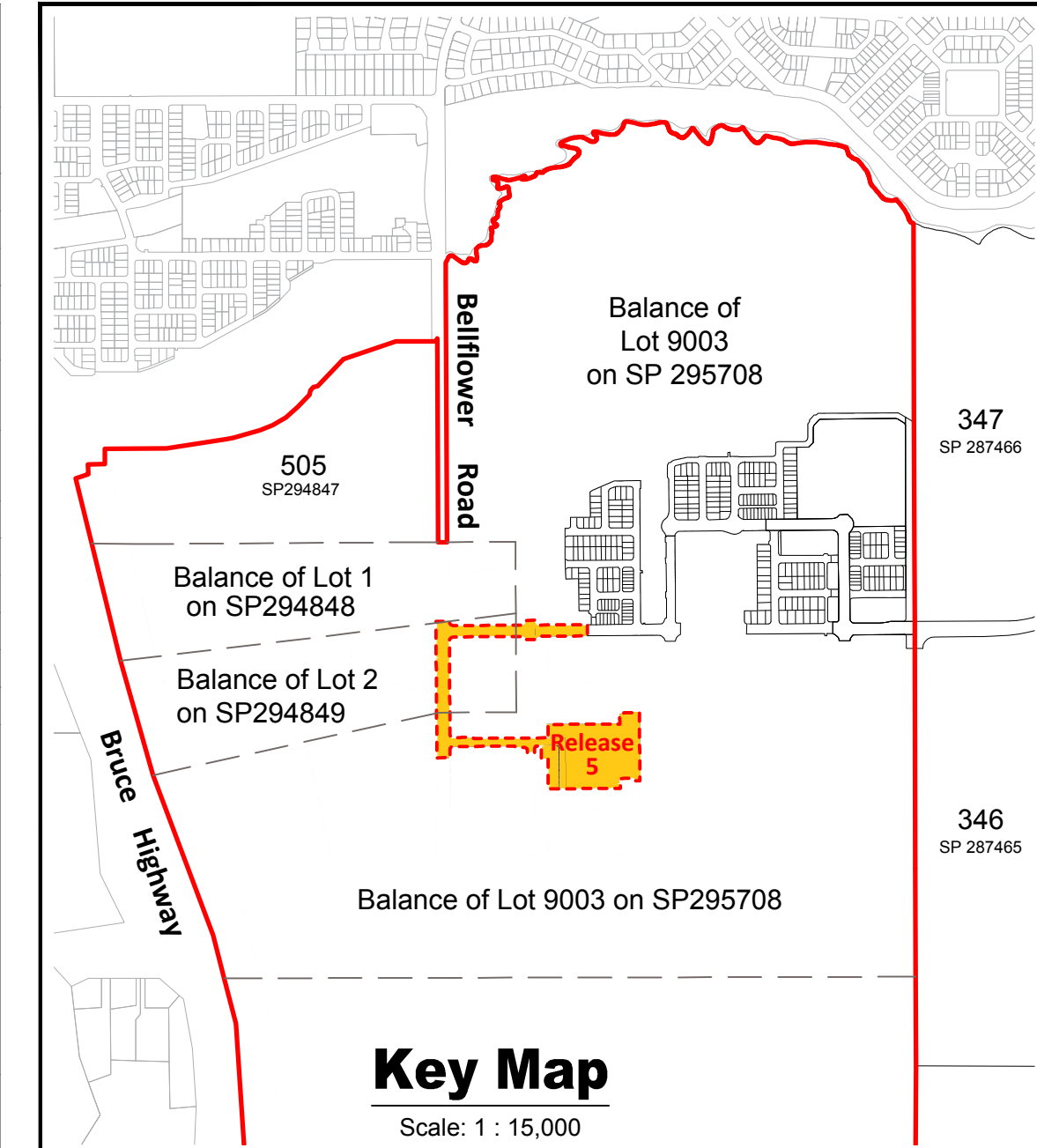
- Requests for approval of minor variations to the approved Plan of Development for individual lots to suit site specific conditions are to be assessed by Council as a request for consideration as 'generally in accordance' and accompanied by the relevant Council application fee.

Definitions:

- Primary Street Frontage** - Is one to which street number/address is allocated.
- Site Cover** - The proportion of the site covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the building(s) and is expressed as a percentage.
- The term does not include:
 - any structure or part thereof included in a landscaped open space area such as a gazebo or shade structure;
 - basement car parking areas located wholly below ground level;
 - eaves and sun shading devices.

Development Approval - refers to specific Reconfiguration of Lot and development permit for this release.

Plan of Development Table	Terrace (Mews) Allotments L6, L7.5, L8, L10		Villa Allotments 10m		Premium Villa Allotments 12.5m		Courtyard Allotments 15m		Traditional Allotments 18m		Dual Occupancy Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Setback												
Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Garage	n/a	n/a	4.5m #	n/a	4.5m #	n/a	4.5m #	n/a	4.5m #	n/a	4.5m #	n/a
Side Setback												
Built to Boundary	0.025m*	0.025m*	0.2m	n/a	0.2m	n/a	0.2m	n/a	0.2m	n/a	0.025m*	n/a
Non Built to Boundary (incl. adjoining a laneway)	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	2.0m	2.0m	2.0m	1.0m	1.0m
Garage (where accessed directly from a laneway)	0.5m	n/a	0.5m	n/a	0.5m	n/a	0.5m	n/a	0.5m	n/a	0.5m	n/a
Corner Lots - Secondary Frontage	2.0m	2.0m	2.0m	2.0m	2.0m	2.0m	2.0m	2.0m	2.0m	2.0m	2.0m	2.0m
Rear Setback												
Rear	n/a	n/a	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m
Rear (from laneway boundary)	0.5m	0.5m	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	0.5m	0.5m
Garage (from laneway boundary)	0.5m	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	0.5m	n/a
Other Requirements												
On site parking requirements (minimum)	One covered and enclosed space		One covered and enclosed space		Two spaces (one enclosed space)		Two space (one enclosed space)		Two space (one enclosed space)		One covered and enclosed space	
Garage location	Garages are to be located along the built to boundary wall		Garages are to be located along the built to boundary wall. (Optional where side boundary adjoins a lane)		Garages are to be located along the built to boundary wall (Optional where side boundary adjoins a lane)		Garages are to be located along the built to boundary wall (Optional where side boundary adjoins a lane)		Garages are to be located along the built to boundary wall (Optional where side boundary adjoins a lane)		Garages are to be located along the built to boundary wall (Optional where side boundary adjoins a lane)	
Note	* Built to boundary walls are mandatory where shown on plan. The 0.025m setback applies to the concrete slab/footing as well as the external wall. # For home with single or tandem garage, the garage setback is 5.5m											



REVISION
A: 09/03/18 Amend as per RFI
B: 16/04/18 Amend POD Notes
C: 11/05/18 Amend POD Notes

Note:
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.
The boundaries shown on this plan should not be used for final detailed engineers design.
Source Information:
Site boundaries: RFS Survey
Adjoining information: DCDB
Aerial photography: Neamap
Environment constraints: SCRC
Flood: SCRC

CLIENT
AVID
Property Group

PROJECT
harmony
Plan of Development
Phase 1 - Release 5
Allotment Layout

Date: 11 May 2018
Comp By: WNW
Checked By: FK
DWG Name: 22470-Rel 5 Application
Job Ref: 22470
Local Authority: SUNSHINE COAST REGIONAL COUNCIL
Locality: PALMVIEW
Scale: 1:500
Sheet: A1
Plan Ref: 22470-427
Rev: C

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